



Litzenburger Manor

Boyne City, Michigan

edmund london & associates, inc.
 architects & planners
 20750 civic center drive, suite 610, southfield, michigan 48076
 tel: 248-353-4820 email: server@ela-architects.com



Litzenburger Manor
 Boyne City, Michigan

cover sheet

ISSUED:
 Site Plan Review
 06/29/24

DRAWN BY:
 MC
 APPROVED BY:
 JL
 JOB NUMBER
 4305
 SHEET NUMBER
 A-0.0

Sheet Index

- A-0.0 COVER SHEET
- CIVIL**
- C100 OVERALL SITE PLAN
- C101 EXISTING CONDITIONS AND DEMOLITION PLAN
- C102 SITE AND UTILITY PLAN
- C103 GRADING PLAN
- C201 SANITARY SEWER PLAN & PROFILE
- C501 CIVIL SITE DETAILS
- LANDSCAPE**
- L101 LANDSCAPE PLAN
- ARCHITECTURAL**
- A-1.1 SITE DETAILS
- A-2.1 COMPOSITE FIRST FLOOR PLAN
- A-2.2 COMPOSITE SECOND FLOOR PLAN
- A-2.3 COMPOSITE THIRD FLOOR PLAN
- A-3.0 CONCEPTUAL COMPOSITE EXTERIOR ELEVATIONS
- P-1 EXTERIOR PHOTOMETRIC PLAN

Owner / Sponsor:
 Eric Gold
 Litzenburger LDHA, LLC

General Contractor:
 Howard Katzman
 Slavik Building & Development LLC
 2161 Avon Industrial Dr.
 Rochester Hills MI 48309

Civil Engineer:
 Performance Engineers, Inc.
 406 Petoskey Avenue
 Charlevoix, MI 49720
 231-547-2121

| BUILDING AREA | |
|---------------------------|--------------------------|
| INDEPENDENT SENIOR LIVING | |
| FIRST FLOOR | 19,612 SF |
| SECOND FLOOR | 19,715 SF |
| THIRD FLOOR | 19,715 SF |
| TOTAL FLOOR AREA = | 59,042 SF (GROSS) |

Owner Contact:
 Litzenburger LDHA, LLC
 Contact: Eric A. Gold
 Phone: 248-203-0011
 Email Address:
 egold@slavikenterprises.com

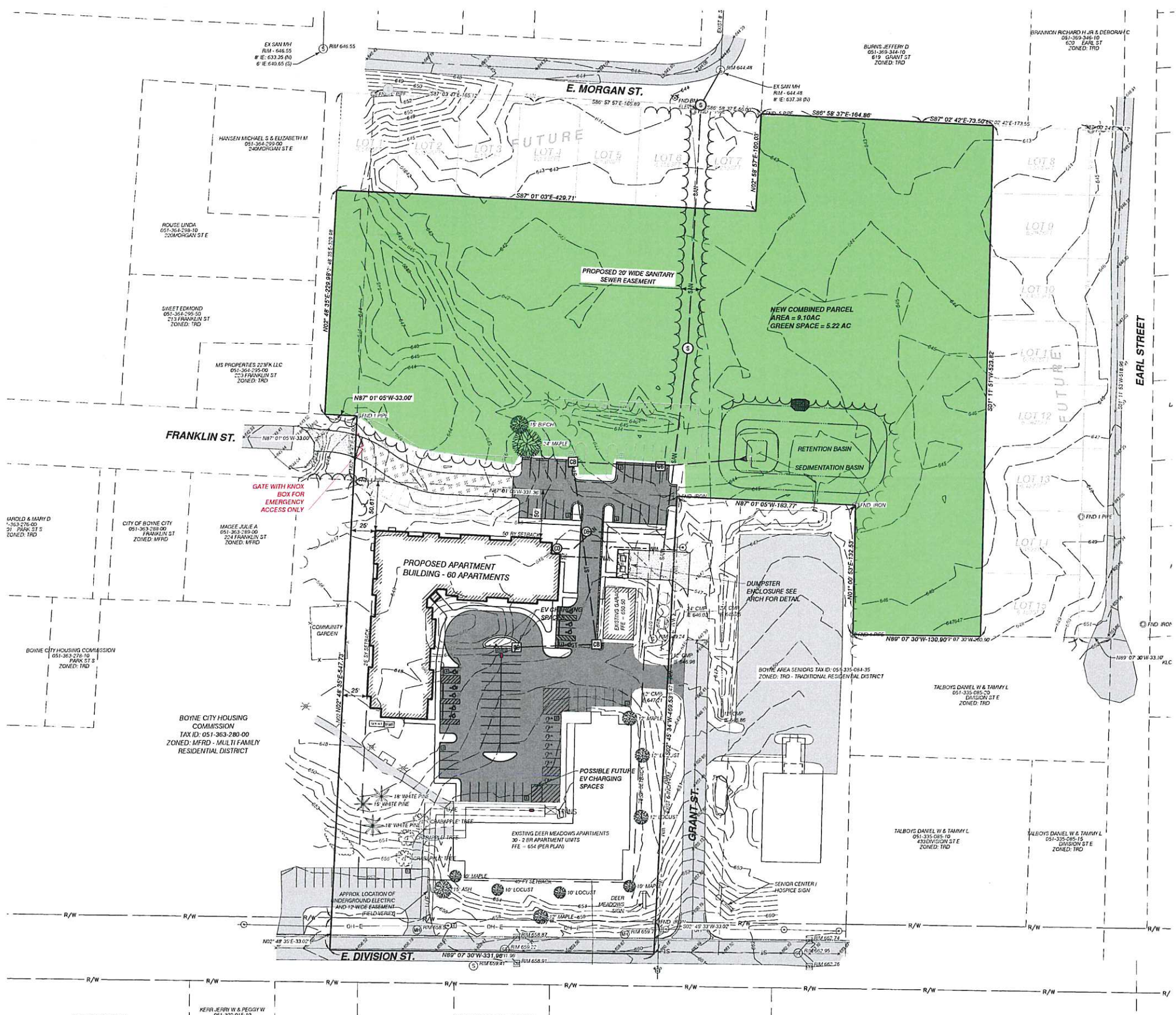
| UNIT COUNTS | | | | | |
|------------------|-----|-----------|-----------|-----------|-----------|
| UNIT | NSF | 1ST FLR | 2ND FLR | 3RD FLR | TOTAL |
| 1.0 ^A | 670 | 4 | 0 | 0 | 4 |
| 1.0 ^B | 670 | 2 | 6 | 6 | 14 |
| 1.1 ^A | 653 | 2 | 0 | 0 | 2 |
| 1.2 ^A | 653 | 0 | 2 | 2 | 4 |
| 1.3 ^A | 668 | 2 | 2 | 2 | 6 |
| 1.4 ^A | 670 | 4 | 6 | 6 | 16 |
| 1.5 ^A | 662 | 2 | 2 | 2 | 6 |
| 1.6 ^A | 695 | 1 | 1 | 1 | 3 |
| 1.7 ^A | 695 | 1 | 0 | 0 | 1 |
| 2.1 ^A | 880 | 0 | 1 | 1 | 2 |
| 2.2 ^A | 940 | 0 | 1 | 1 | 2 |
| TOTAL | | 18 | 21 | 21 | 60 |

Architect & Applicant:
 jordan london, aia, ra, president
 edmund london & associates, inc.
 20750 civic center drive, suite 610
 southfield, michigan 48076
 phone: 248-353-4820
 email: server@ela-architects.com

Overall Unit Count = 60 Units

signed: *JL*

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ZONING INFORMATION

PROJECT DESCRIPTION: PROPOSED 60 UNIT SENIOR APARTMENT BUILDING

PROPERTY IS ZONED: SPLIT ZONING
MFRD - MULTI FAMILY RESIDENTIAL AND TRD - TRADITIONAL RESIDENTIAL DISTRICT

CURRENT USE: SENIOR APARTMENTS
PROPOSED USE: SENIOR APARTMENTS

MFRD DISTRICT:
MINIMUM FRONT YARD: 35 FEET
MINIMUM SIDE YARD: MINIMUM OF 25, TOTAL OF 50 FEET
MINIMUM REAR YARD: 50 FEET
MAXIMUM STRUCTURE HEIGHT: 35 FEET
MINIMUM LOT AREA: 21,780 SQUARE FEET
MINIMUM LOT WIDTH: 100 FEET
MAXIMUM LOT COVERAGE: 40%
MAXIMUM DENSITY: 10 UNITS PER ACRE

PARKING REQUIREMENTS: 1.5 SPACES PER EFFICIENCY OR ONE BEDROOM DWELLING AND 2 SPACES FOR EACH UNIT WITH TWO OR MORE BEDROOMS.
REQUIRED = 84 SPACES (LITZENBURGER)
PROPOSED 4 2-BR APARTMENTS: REQUIRED = 8 SPACES (LITZENBURGER)
PROPOSED 30 2-BR APARTMENTS: REQUIRED = 60 SPACES (DEER MEADOWS)
TOTAL REQUIRED = 152 SPACES

PARKING PROVIDED: 42 EXISTING SPACES
52 PROPOSED SPACES
58 DEFERRED SPACES
152 TOTAL SPACES PROVIDED

(PROPOSED PARKING BASED ON 0.75 SPACES PER 1 BR APARTMENT AND 1.5 SPACES PER 2 BR APARTMENT. THESE RATIOS ARE BASED ON STUDIES ON SENIOR LIVING FACILITIES THAT SHOW NOT AS MANY SENIORS DRIVE VEHICLES.)

DENSITY:
MAXIMUM ALLOWED DENSITY IS 10 DWELLING UNITS PER ACRE IN THE MFRD DISTRICT.
PROPOSED PARCEL AREA IS 9.01 ACRES
ALLOWED DWELLING UNITS IS 10*9.01 = 90
PROPOSED DWELLING UNITS = 60 NEW APARTMENTS (LITZENBURGER MANOR) + 30 EXISTING APARTMENTS (DEER MEADOWS) FOR A TOTAL OF 90.

TRD DISTRICT:
MINIMUM FRONT YARD: 10 FEET
MINIMUM INTERIOR SIDE YARD: MINIMUM OF 5, TOTAL OF 15 FEET
MINIMUM STREET SIDE YARD: 10 FEET
MINIMUM REAR YARD: 15 FEET
MAXIMUM STRUCTURE HEIGHT: 30 FEET
MINIMUM LOT AREA: 5,445 SQUARE FEET
MINIMUM LOT WIDTH: 50 FEET

Performance Engineers, Inc.
Civil / Structural Engineering
406 Patoskey Avenue
Charlevoix, Michigan 49720
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www.performanceeng.com

NOT FOR CONSTRUCTION

LITZENBURGER MANOR
PROPOSED APARTMENT BUILDING
915 DIVISION STREET
BOYNE CITY, MI
OWNER: LITZENBURGER MANOR LDMA, LLC
809 S PARK STREET, BOYNE CITY, MI

| SH. NO. | DESCRIPTION |
|---------|---|
| C100 | OVERALL SITE PLAN |
| C101 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| C102 | SITE AND UTILITY PLAN |
| C103 | GRADING PLAN |
| C201 | SANITARY SEWER PLAN & PROFILE |
| C501 | CIVIL SITE DETAILS |
| L101 | LANDSCAPE PLAN |

| MARK | DATE | DESCRIPTION |
|------|----------|---------------------------|
| 9 | 06/26/24 | SITE PLAN REVIEW/SUBMITAL |

PROJECT NO: 24-6397
CAD DWG FILE: 6397 C100.dwg
DRAWN BY: DEH
DESIGNED BY: DEH
CHECKED BY: PEI



SHEET TITLE: OVERALL SITE PLAN
SHEET: C100
1 OF 7

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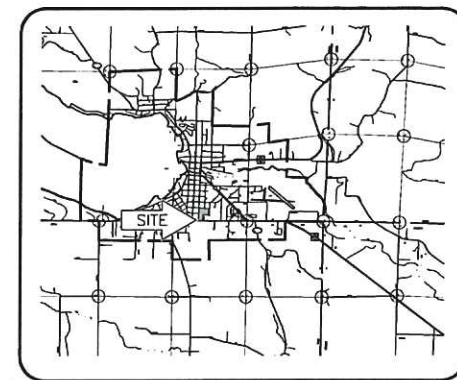
LEGAL DESCRIPTION

Parcel # 051-335-084-20
 Property located in the City of Boyne City, County of Charlevoix, State of Michigan
 In the City of Boyne City, Charlevoix County, Michigan, commencing at an iron stake at the South 1/4 corner of Section 35, Township 33 North, Range 6 West; thence along the South line of said section, South 89 degrees 47 minutes 55 seconds West (recorded as South 89 degrees 55 minutes West) 468.90 feet, being the point of beginning of this description; thence continuing along the last described course, South 89 degrees 47 minutes 55 seconds West (recorded as South 89 degrees 55 minutes West) 331.98 feet to the East line of East Street as depicted on the plat of Nichols and Morgan's Third Addition to South Boyne (now City of Boyne City), Charlevoix County records; thence along the East line of said East Street, North 01 degree 44 minutes 00 seconds East 33.02 feet (recorded as 33 feet) to a 12" re-rod on the North line of Division Street (platted as Town Line Road); thence continuing along the last described course North 01 degree 44 minutes 00 seconds East 448.84 feet (recorded as 448.05 feet) to a 1-1/2" pipe on the South line of Franklin Street, as extended; thence South 88 degrees 03 minutes 50 seconds East 331.38 feet; thence South 01 degree 40 minutes 58 seconds West 438.47 feet to a 1-1/2" pipe on the North line of said Division Street; thence continuing South 01 degree 40 minutes 58 seconds West 33.02 feet to the point of beginning, being a part of the Southeast quarter of the Southwest quarter of Section 35, Township 33 North, Range 6 West, containing 6.818 acres more or less.

Parcel # 051-335-084-20
 The Land is described as follows:
 Property located in the City of Boyne City, County of Charlevoix, State of Michigan City of Boyne City, Section 35, Town 33 North, Range 6 West, part of the Southwest 1/4 of the Southwest 1/4 of said section, commencing at the South 1/4 corner of Section 35; thence along the South line of said section, South 89 degrees 47 minutes 55 seconds West (recorded as South 89 degrees 55 minutes West) 264 feet (18 rods); thence North 00 degrees 07 minutes 18 seconds East 330 feet for point of beginning; thence North 89 degrees 47 minutes 55 seconds East 264 feet; thence North 00 degrees 07 minutes 18 seconds East 518.95 feet to South line of Morgan Street (recorded as North 00 degrees 09 minutes East 31.75 rods 528.88 feet); thence North 88 degrees 04 minutes 59 seconds West 33.12 feet (recorded as North 88 degrees 02 minutes West 38 feet); thence North 88 degrees 07 minutes 17 seconds West (recorded as North 88 degrees 02 minutes West) 173.55 feet; thence North 88 degrees 03 minutes 12 seconds West 230.86 feet (recorded as North 88 degrees 02 minutes West 231 feet); thence North 88 degrees 02 minutes 32 seconds West 165.89 feet (recorded as North 88 degrees 02 minutes West 165.85 feet); thence North 88 degrees 08 minutes 22 seconds West 165.12 feet (recorded as North 88 degrees 02 minutes West 165.85 feet); thence leaving South line of Morgan Street, South 01 degree 44 minutes 00 seconds West 395.99 feet; thence South 88 degrees 03 minutes 50 seconds East 515.50 feet; thence South to point of beginning; being a part of the Southeast quarter of the Southwest quarter of Section 35, Town 33 North, Range 6 West. ALSO, the East 1/2 of S. East Street abutting said property as closed in Liber 355, page 487, containing 8.062 acres more or less.

- SURVEY NOTES:**
- PROPERTY BOUNDARY LINES SHOWN ON THIS PLAN ARE BASED ON A BOUNDARY SURVEY PROVIDED BY FERGUSON & CHAMBERLAIN, LAST REVISED AUGUST 1997.
 - THE SUBJECT PROPERTIES ON NOT LOCATED WITHIN THE 100-YEAR FLOODPLAIN.
 - THERE ARE NO KNOWN WETLANDS ON THE SUBJECT PROPERTY.

VICINITY MAP
 SCALE: 1"=500'



LEGEND

| DESCRIPTION | PROPOSED | EXISTING |
|-----------------|------------------------|------------------------|
| BUILDING | [Hatched Box] | [Hatched Box] |
| STORM SEWER | [Line with 'ST'] | [Line with 'ST'] |
| SANITARY SEWER | [Line with 'SAN'] | [Line with 'SAN'] |
| WATER | [Line with 'W'] | [Line with 'W'] |
| NATURAL GAS | [Line with 'G'] | [Line with 'G'] |
| UNDERGRND ELEC. | [Line with 'U/E'] | [Line with 'U/E'] |
| OVERHEAD ELEC. | [Line with 'E'] | [Line with 'E'] |
| UNDERGRND TEL. | [Line with 'U/T'] | [Line with 'U/T'] |
| WELL | [Circle with 'W'] | [Circle with 'W'] |
| MANHOLE | [Circle with 'M'] | [Circle with 'M'] |
| CATCH BASIN | [Circle with 'CB'] | [Circle with 'CB'] |
| FIRE HYDRANT | [Circle with 'FH'] | [Circle with 'FH'] |
| UTILITY POLE | [Circle with 'U'] | [Circle with 'U'] |
| LIGHT POLE | [Circle with 'L'] | [Circle with 'L'] |
| CLEANOUT | [Circle with 'CO'] | [Circle with 'CO'] |
| WATER VALVE | [Circle with 'V'] | [Circle with 'V'] |
| DECIDUOUS TREE | [Circle with 'D'] | [Circle with 'D'] |
| CONIFEROUS TREE | [Circle with 'C'] | [Circle with 'C'] |
| BUSH | [Circle with 'B'] | [Circle with 'B'] |
| TREELINE | [Wavy Line] | [Wavy Line] |
| DITCH OR SWALE | [Line with 'D/S'] | [Line with 'D/S'] |
| ELEVATION | [Square with '000.00'] | [Square with '000.00'] |
| CONTOUR | [Dashed Line] | [Dashed Line] |
| PROPERTY LINE | [Line with 'P'] | [Line with 'P'] |
| UNIT LINE | [Line with 'U'] | [Line with 'U'] |
| FENCE | [Line with 'X'] | [Line with 'X'] |

ABBREVIATIONS

| | | | |
|------|-----------------------------|--------|----------------------------|
| ASPH | - ASPHALT | IE | - INVERT ELEVATION |
| BF | - BARRIER FREE | LFT | - LINEAR FEET |
| BC | - BACK OF CURB | MH | - MANHOLE |
| BLDG | - BUILDING | PVC | - POLYVINYLCHLORIDE |
| B.M. | - BENCH MARK | PIPE | - PIPE |
| C/C | - CUBIC FEET | R | - RADIUS |
| CFT | - CENTER TO CENTER | RCP | - REINFORCED CONCRETE PIPE |
| CMP | - CORRUGATED METAL PIPE | RR | - RAILROAD |
| CONC | - CONCRETE | SAN | - SANITARY |
| DIP | - DUCTILE IRON PIPE | STL | - STEEL |
| FDN | - FOUNDATION | STM | - STORM |
| FFE | - FINISH FLOOR ELEVATION | T/C | - TOP OF CURB |
| F.G. | - FINISH GRADE | T/W | - TOP OF WALK |
| HDPE | - HIGH DENSITY POLYETHYLENE | T/WALL | - TOP OF WALL |
| | | TE | - TOP/RIM ELEVATION |
| | | TYP | - TYPICAL |

- DO NOT CLOSE OR OBSTRUCT ANY DRIVES, WALKS, OR OTHER FACILITIES WITHOUT PERMISSION FROM THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY REMOVE ALL BUILDINGS, BUILDING FOUNDATIONS, CONSTRUCTION DEBRIS, DRIVES, WALKS ETC. AS SHOWN ON THE PLAN. ALL MATERIALS SHALL BE DISPOSED OFF SITE AT A LICENSED RECEIVING FACILITY.
- ALL TREES, BUSHES AND LANDSCAPE AREAS SHOWN TO BE REMOVED SHALL BE REMOVED AND DISPOSED OFF SITE. ALL STUMPS SHALL BE COMPLETELY REMOVED AND DISPOSED OFF SITE. CONTRACTOR SHALL SUPPLY CLEAN FILL MATERIAL AS REQ'D. TO BRING EXCAVATED AREAS TO GRADE.
- THE OWNER SHALL MARK THE LIMITS OF CLEARING. ANY ADDITIONAL CLEARING REQUIRED SHALL BE AUTHORIZED BY THE OWNER.
- TOPSOIL SHALL BE STOCKPILED ON SITE IN AREAS DESIGNATED BY THE OWNER FOR LATER USE IN NEW GRASS AREAS.
- FILL MATERIAL SHALL BE MDOT GRANULAR MATERIAL CLASS II AND BE SPREAD IN UNIFORM LAYERS NOT TO EXCEED 8 INCHES (LOOSE MEASURE) IN THICKNESS, APPROXIMATELY PARALLEL TO FINISH GRADES. SPREADING OF MATERIALS SHALL FOLLOW DURING AS CLOSELY AS PRACTICABLE. EACH LAYER SHALL BE COMPACTED TO REQUIRED 95% DENSITY BEFORE NEXT LAYER IS PLACED.
- ALL GRADES SHOWN ARE FINISH GRADES. CONTRACTOR IS TO DEDUCT PAVEMENT AND TOPSOIL THICKNESS TO ESTABLISH ROUGH GRADING ELEVATIONS.
- CONTRACTOR SHALL PROVIDE TEMPORARY DUST CONTROL AS REQ'D. TO PROTECT THE OWNER'S FACILITIES AND THE PUBLIC FROM AIRBORNE DUST NUISANCE.
- CONTRACTOR SHALL COORDINATE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION AND CITY OF BOYNE CITY PRIOR TO COMMENCING WITH ANY WORK WITHIN THEIR RESPECTIVE STREET RIGHT-OF-WAYS. CONTRACTOR SHALL PROVIDE AND MAINTAIN NECESSARY BARRICADES AND SIGNAGE TO PROTECT THE PUBLIC.



(A5) SITE DEMOLITION NOTES

Performance Engineers, Inc.
 Civil / Structural Engineering
 406 Petoskey Avenue
 Charlevoix, Michigan 49720
 Phone: (231) 547-5121
 Fax: (231) 547-0984
 www.performanceeng.com

NOT FOR CONSTRUCTION

CONSULTANT'S
 LITZENBURGER MANOR
 PROPOSED APARTMENT BUILDING
 315 DIVISION STREET
 BOYNE CITY, MI
 LITZENBURGER MANOR LDA, LLC
 805 S. PARK STREET, BOYNE CITY, MI
 OWNER

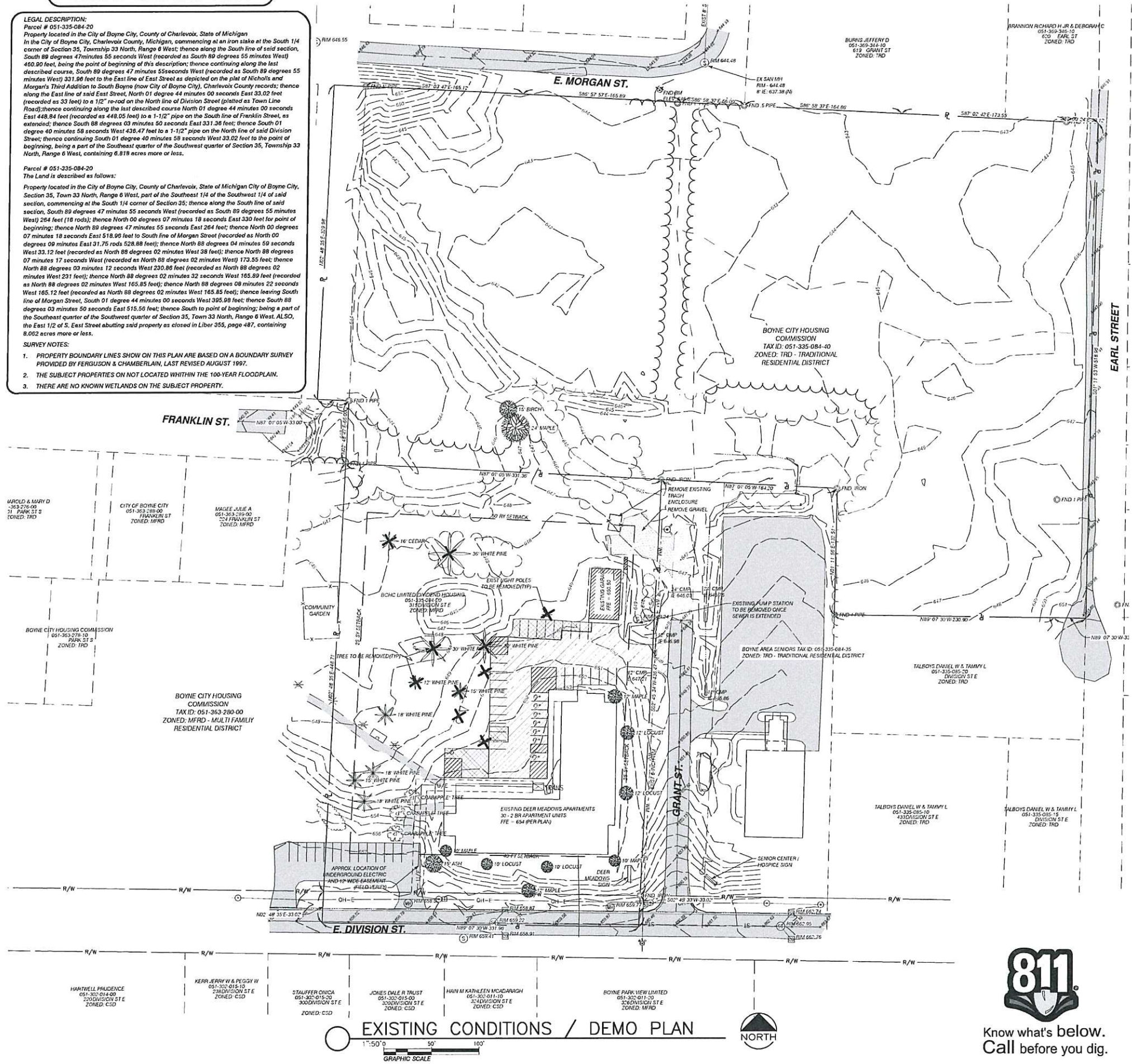
| MARK | DATE | DESCRIPTION |
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| 9 | 06-28-24 | SITE PLAN REVIEW/SUBMITAL |

PROJECT NO: 24-5397
 CAD DWG FILE: 6397 C101.dwg
 DRAWN BY: DEH
 DESIGNED BY: DEH
 CHECKED BY: FEI

STATE OF MICHIGAN
 DAVID E. HENDERSON
 ENGINEER
 06-28-2024
 MI REGISTRATION #242129235
 EXP. DATE 03/31/2028

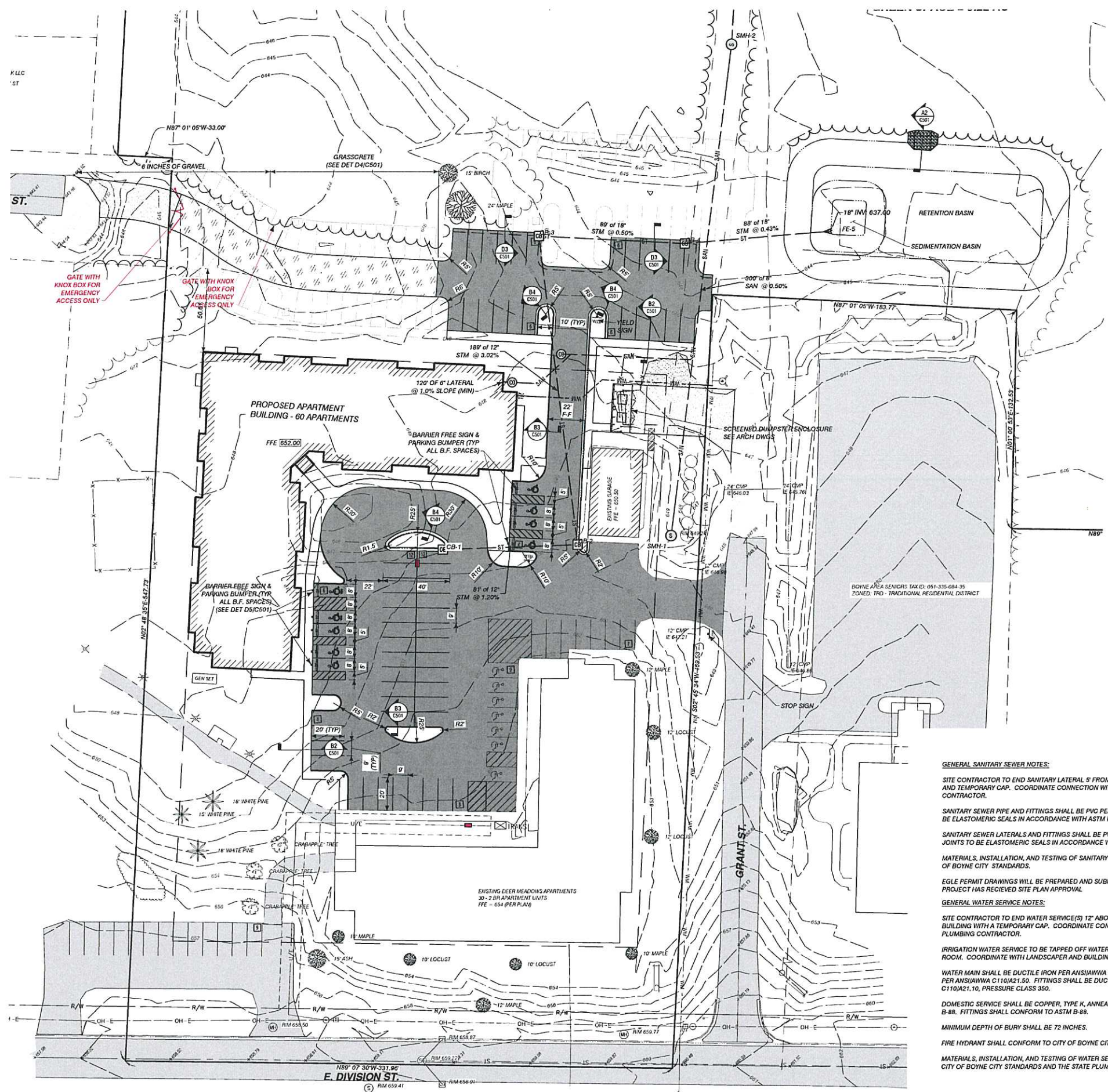
SHEET TITLE
EXISTING CONDITIONS AND DEMOLITION PLAN
 C101
 SHEET 2 OF 7

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Know what's below.
 Call before you dig.

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| LEGEND | | |
|-----------------|------------------------|------------------------|
| DESCRIPTION | PROPOSED | EXISTING |
| BUILDING | [Hatched Box] | [Solid Box] |
| STORM SEWER | [Line with 'S'] | [Line with 'ST'] |
| SANITARY SEWER | [Line with 'SAN'] | [Line with 'SAN'] |
| WATER | [Line with 'W'] | [Line with 'W'] |
| NATURAL GAS | [Line with 'G'] | [Line with 'G'] |
| UNDERGRND ELEC. | [Line with 'UE'] | [Line with 'UE'] |
| OVERHEAD ELEC. | [Line with 'E'] | [Line with 'E'] |
| UNDERGRND TEL. | [Line with 'UT'] | [Line with 'UT'] |
| WELL | [Circle with 'W'] | [Circle with 'W'] |
| MANHOLE | [Circle with 'M'] | [Circle with 'M'] |
| CATCH BASIN | [Square with 'CB'] | [Square with 'CB'] |
| FIRE HYDRANT | [Circle with 'FH'] | [Circle with 'FH'] |
| UTILITY POLE | [Circle with 'U'] | [Circle with 'U'] |
| LIGHT POLE | [Circle with 'L'] | [Circle with 'L'] |
| CLEANOUT | [Circle with 'CO'] | [Circle with 'CO'] |
| WATER VALVE | [Circle with 'V'] | [Circle with 'V'] |
| DECIDUOUS TREE | [Star] | [Star] |
| CONIFEROUS TREE | [Star] | [Star] |
| BUSH | [Star] | [Star] |
| TREELINE | [Wavy Line] | [Wavy Line] |
| DITCH OR SWALE | [Line with 'D'] | [Line with 'D'] |
| ELEVATION | [Square with '000.00'] | [Square with '000.00'] |
| CONTOUR | [Line with '000'] | [Line with '000'] |
| PROPERTY LINE | [Line with 'P'] | [Line with 'P'] |
| UNIT LINE | [Line with 'X'] | [Line with 'X'] |
| FENCE | [Line with 'X'] | [Line with 'X'] |

| PAVEMENT LEGEND | | |
|-------------------|---------------|---------------|
| ASPHALT PAVEMENT | [Hatched Box] | [Hatched Box] |
| CONCRETE PAVEMENT | [Solid Box] | [Solid Box] |
| GRASSCRETE | [Hatched Box] | [Hatched Box] |
| GRAVEL | [Hatched Box] | [Hatched Box] |

| ABBREVIATIONS | | | |
|---------------|-----------------------------|--------|----------------------------|
| ASPH | - ASPHALT | IE | - INVERT ELEVATION |
| BF | - BARRIER FREE | LFT | - LINEAR FEET |
| BC | - BACK OF CURB | MH | - MANHOLE |
| BLDG | - BUILDING | PVC | - POLYVINYLCHLORIDE |
| B.M. | - BENCH MARK | R | - RADIUS |
| CFT | - CUBIC FEET | RC | - REINFORCED CONCRETE PIPE |
| C/C | - CENTER TO CENTER | RR | - RAILROAD |
| CMP | - CORRUGATED METAL PIPE | SAN | - SANITARY |
| CONC | - CONCRETE | STL | - STEEL |
| DIP | - DUCTILE IRON PIPE | STM | - STORM |
| FDN | - FOUNDATION | T/C | - TOP OF CURB |
| FFE | - FINISH FLOOR ELEVATION | T/W | - TOP OF WALK |
| F.G. | - FINISH GRADE | T/WALL | - TOP OF WALL |
| HDPE | - HIGH DENSITY POLYETHYLENE | TE | - TOP/RIM ELEVATION |
| | | TYP | - TYPICAL |

| STORM SEWER STRUCTURE INFORMATION | | | | | |
|-----------------------------------|------------|----------|-------------|-----------------|-----------------|
| STRUCT NO | FRAME | DIAMETER | RIM ** ELEV | PIPES IN: | PIPES OUT |
| CB-1 | TYPE B | 4 FT | 649.51 | 12" E IE 645.50 | |
| CB-2 | TYPE B | 4 FT | 649.00 | 12" W IE 644.52 | 12" N IE 644.52 |
| CB-3 | TYPE A | 4 FT | 645.37 | 12" S IE 638.82 | 18" E IE 637.82 |
| CB-4 | TYPE A | 4 FT | 644.24 | 18" W IE 637.38 | 18" E IE 637.38 |
| FE-5 | FLARED END | N/A | 639.21 | 18" W IE 637.00 | |

GENERAL SANITARY SEWER NOTES:

SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO CITY OF BOYNE CITY STANDARDS.

EGLE PERMIT DRAWINGS WILL BE PREPARED AND SUBMITTED SEPARATELY ONCE THE PROJECT HAS RECEIVED SITE PLAN APPROVAL.

GENERAL WATER SERVICE NOTES:

SITE CONTRACTOR TO END WATER SERVICE(S) 12" ABOVE FINISHED FLOOR INSIDE BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

IRRIGATION WATER SERVICE TO BE TAPPED OFF WATER SERVICE INSIDE BUILDING UTILITY ROOM. COORDINATE WITH LANDSCAPER AND BUILDING PLUMBER.

WATER MAIN SHALL BE DUCTILE IRON PER ANSII/AWWA C151/A21.51, THICKNESS CLASS 52 PER ANSII/AWWA C110/A21.50. FITTINGS SHALL BE DUCTILE IRON PER ANSII/AWWA C110/A21.10, PRESSURE CLASS 350.

DOMESTIC SERVICE SHALL BE COPPER, TYPE K, ANNEALED AND SOFT TEMPER PER ASTM B-88. FITTINGS SHALL CONFORM TO ASTM B-88.

MINIMUM DEPTH OF BURY SHALL BE 72 INCHES.

FIRE HYDRANT SHALL CONFORM TO CITY OF BOYNE CITY STANDARDS.

MATERIALS, INSTALLATION, AND TESTING OF WATER SERVICE LINES SHALL CONFORM TO CITY OF BOYNE CITY STANDARDS AND THE STATE PLUMBING CODE.

GENERAL STORM SEWER NOTES:

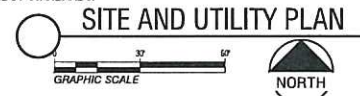
SITE CONTRACTOR TO END STORM CONNECTION 5' FROM BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE S, AND SHALL BE PERFORMED AND PRE-WRAPPED WITH A 3.5 OZ/SY GEOTEXTILE FILTER SOCK. JOINTS SHALL BE SOIL TIGHT. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED PERFORATED PIPE TRENCHES THROUGHOUT THE SITE.

PERFORATED STORM SEWER PIPE (12" - 60") SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE PER AASHTO M294 TYPE SP, AND SHALL BE PERFORMED AND PRE-WRAPPED WITH A 3.5 OZ/SY GEOTEXTILE FILTER SOCK. JOINTS SHALL BE SOIL TIGHT. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED PERFORATED PIPE TRENCHES THROUGHOUT THE SITE.

UNDERDRAIN (4" - 10") SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE TYPE S, PER AASHTO M252 AND PRE-WRAPPED WITH A GEOTEXTILE FILTER SOCK. PAVEMENT SUBGRADE TO BE GRADED TO SLOPE TOWARDS THE PROPOSED UNDERDRAIN TRENCHES THROUGHOUT THE SITE.

MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO MDOT STANDARDS.



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 Civil / Structural Engineering
 406 Petoskey Avenue
 Charlevoix, Michigan 49720
 Phone: (231) 547-2121
 Fax: (231) 547-0064
 www.performanceeng.com

NOT FOR CONSTRUCTION

LITZENBURGER MANOR
 PROPOSED APARTMENT BUILDING
 315 DIVISION STREET
 BOYNE CITY, MI

| MARK | DATE | DESCRIPTION |
|------|----------|----------------------------|
| 0 | 06/28/24 | SITE PLAN REVIEW SUBMITTAL |

PROJECT NO: 24-6397
 CAD DWG FILE: 6397 C102.dwg
 DRAWN BY: DEH
 DESIGNED BY: DEH
 CHECKED BY: PEI

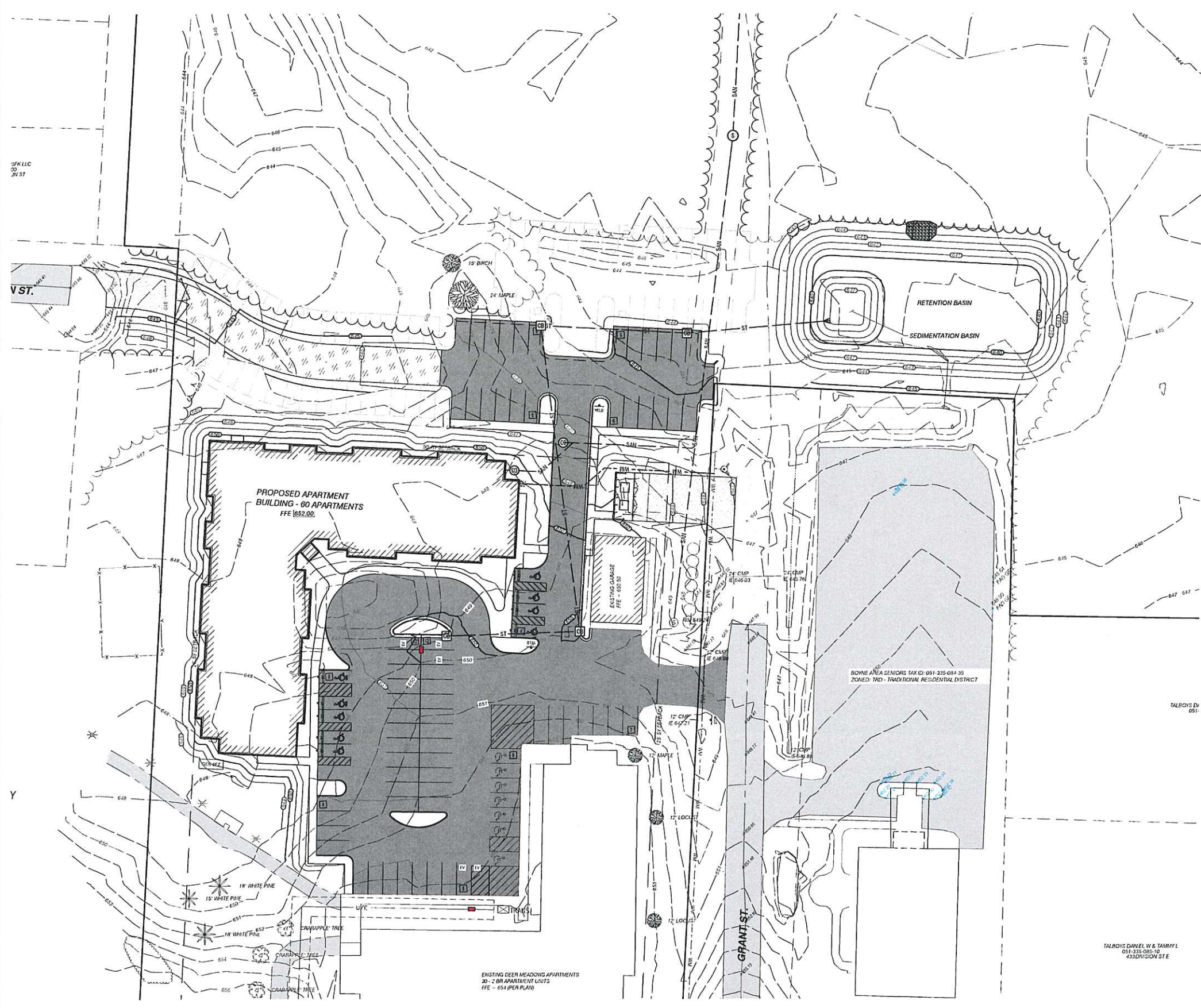
STATE OF MICHIGAN
 David E. Hendershott
 ENGINEER
 06-28-2024
 MI REGISTRATION #2011038725
 EXP. DATE 03/31/2028

SHEET TITLE
SITE AND UTILITY PLAN
 C102
 SHEET 3 OF 7

C:\USERS\DAVE\PERFORMANCE ENGINEERS\PROJECTS\6397\DRAWINGS\6397 C102.DWG - C102 - PLOTTED 7/2/2024 8:39 AM BY DAVE

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SITE INFORMATION

| | | |
|--|-----------------|-----------------|
| PARCEL AREA: | | |
| PARCEL #: 051-335-084-20 | 3.618 ACRES | |
| PARCEL #: 051-335-084-40 | 8.062 ACRES | |
| TOTAL | 11.680 ACRES | |
| BUILDING AREAS: | EXISTING | PROPOSED |
| DEER MEADOWS APARTMENT | 17,340 SQ.FT. | |
| GARAGE | 1,836 SQ.FT. | |
| LITZENBURGER EXPANSION | | 19,545 SQ.FT. |
| DEVELOPED IMPERVIOUS SITE AREAS: | | |
| ASPHALT | 27,330 SQ.FT. | 23,828 SQ.FT. |
| CONCRETE | 2,337 SQ.FT. | 4,028 SQ.FT. |
| GRAVEL | 2,362 SQ.FT. | |
| TOTAL | SQ.FT. | SQ.FT. |
| STORMWATER RETENTION REQUIREMENTS: | | |
| THE RETENTION BASIN HAS BEEN SIZED TO INFILTRATE THE RUNOFF FROM A 100-YEAR, 24-HOURS STORM EVENT. | | |
| RETENTION VOLUME PROVIDED: | 28,000 CU.FT. | |

Performance Engineers, Inc.
 Civil / Structural Engineering
 406 Potosky Avenue
 Charlevoix, Michigan 49720
 Phone: (231) 547-2121
 Fax: (231) 547-0084
 www.performanceeng.com

NOT FOR CONSTRUCTION

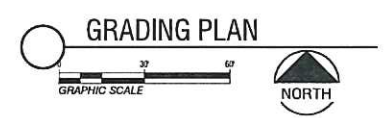
CONSULTANTS
LITZENBURGER MANOR
 PROPOSED APARTMENT BUILDING
 315 DIVISION STREET
 BOYNE CITY, MI
 OWNER
 LITZENBURGER MANOR LHA, LLC
 809 S PARK STREET, BOYNE CITY, MI

| MARK | DATE | DESCRIPTION |
|------|---------|-------------------------|
| 6 | 05-2024 | SITE PLAN PREP/ISSUANCE |

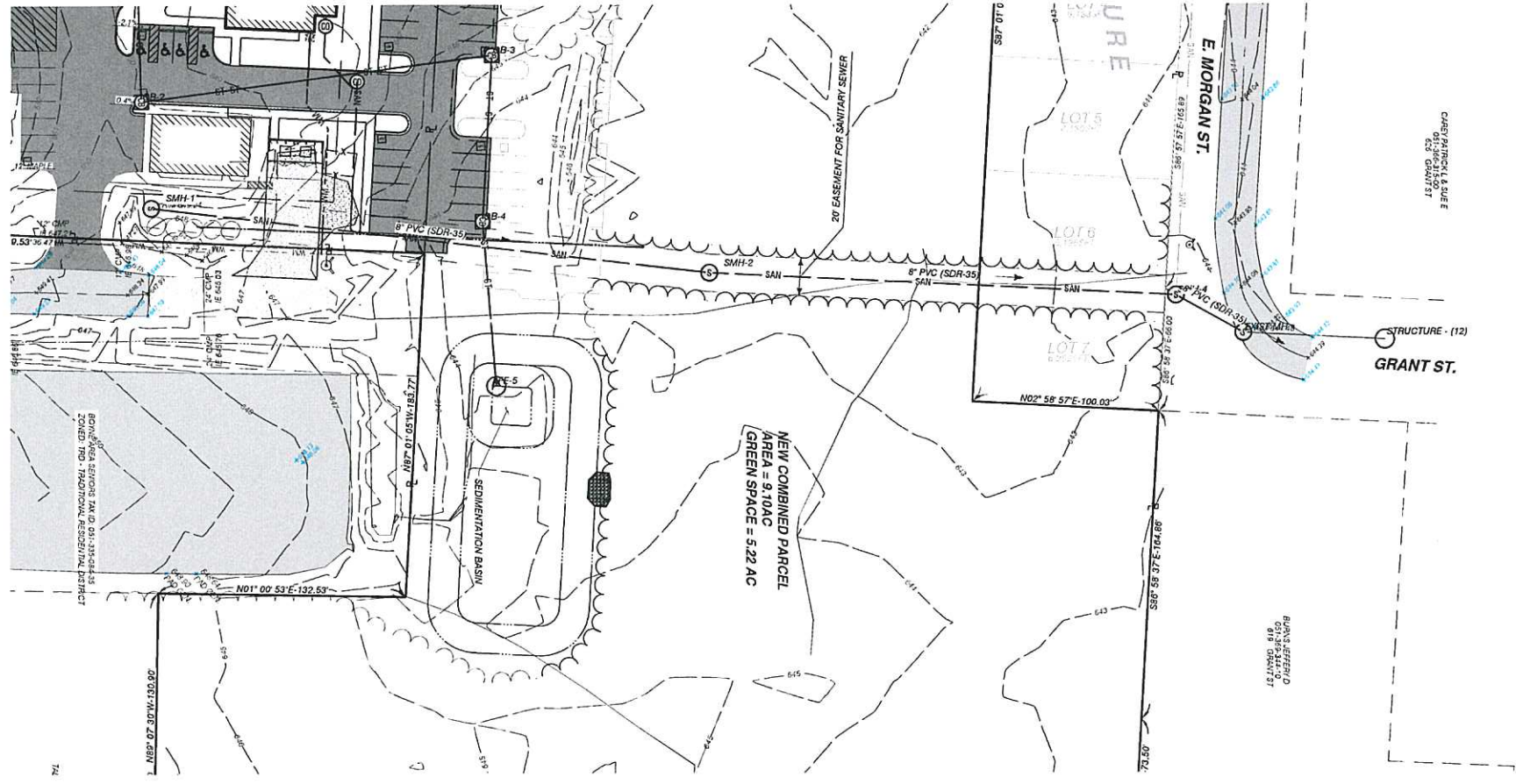
PROJECT NO: 24-6397
 CAD DWG FILE: 6397 C103.dwg
 DRAWN BY: DEH
 DESIGNED BY: DEH
 CHECKED BY: PEI



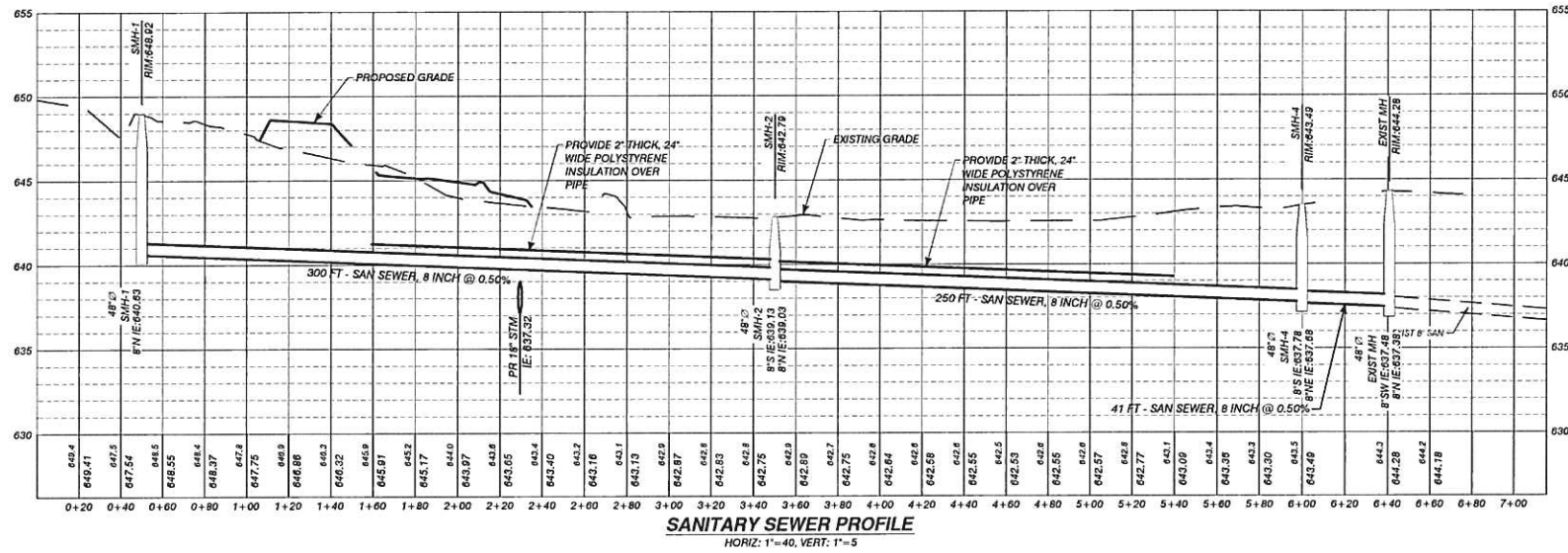
SHEET TITLE
GRADING PLAN
 C103
 SHEET 4 OF 7



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SANITARY SEWER IN EASEMENT



SANITARY SEWER PROFILE
HORIZ: 1"=40', VERT: 1"=5'

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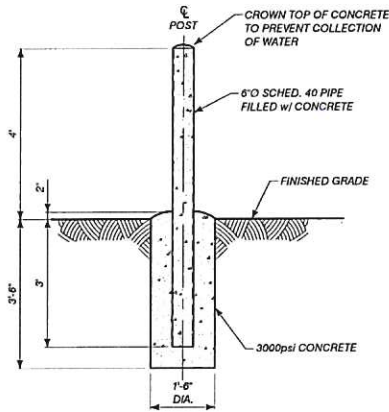
CONSULTANT'S
LITZENBURGER MANOR
PROPOSED APARTMENT BUILDING
315 DIVISION STREET
BOYNE CITY, MI
OWNER
LITZENBURGER MANOR L.P.A., LLC
688 S PARK STREET, BOYNE CITY, MI

| MARK | DATE | DESCRIPTION |
|------|----------|----------------------------|
| 0 | 06-28-24 | SITE PLAN REVIEW SUBMITTAL |

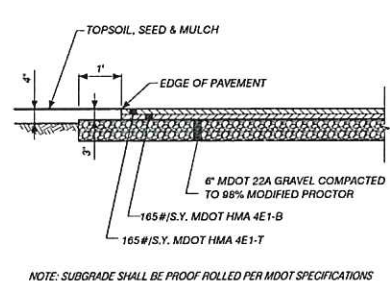
PROJECT NO: 21-6397
CAD DWG FILE: 6397 GRAD UTIL.dwg
DRAWN BY: DEH
DESIGNED BY: DEH
CHECKED BY: PEI



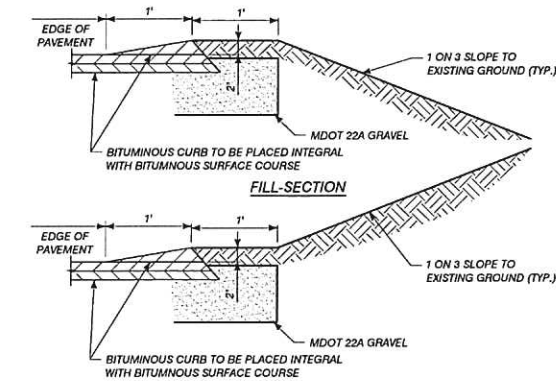
C:\USERS\DAVE\PERFORMANCE ENGINEERS\PROJECTS\6397\DRAWINGS\6397 C501 - PLOTTED 7/2/2024 8:39 AM BY DAVE



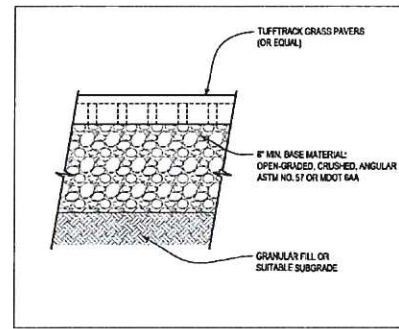
C1 TYPICAL BOLLARD
1/2" = 1'



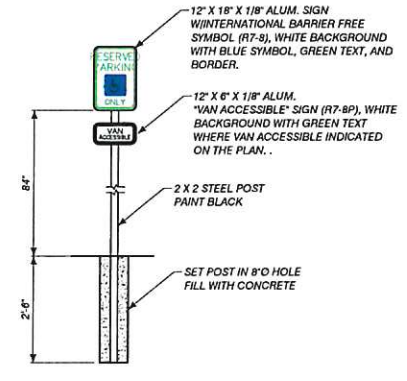
C2 PAVEMENT SECTION
1/2" = 1'



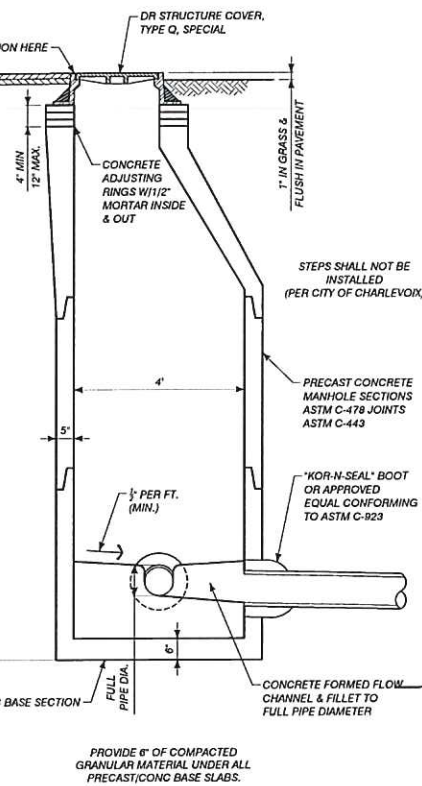
D3 CURB SLOPED, HMA, MODIFIED
1" = 1'



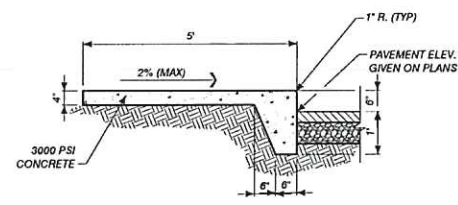
D4 GRASSCRETE DETAIL
N/S



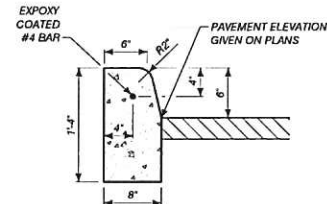
D5 ACCESSIBLE SIGN
NO SCALE



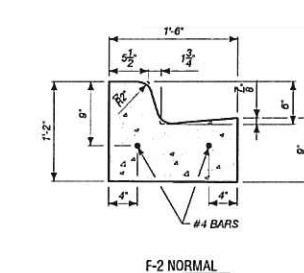
A1 SANITARY SEWER MANHOLE
1/2" = 1'



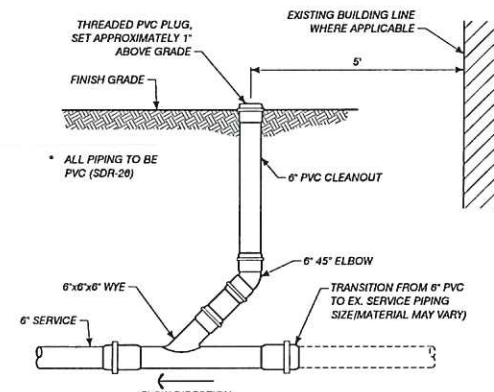
B2 INTEGRAL SIDEWALK/CURB DETAIL
1/2" = 1'



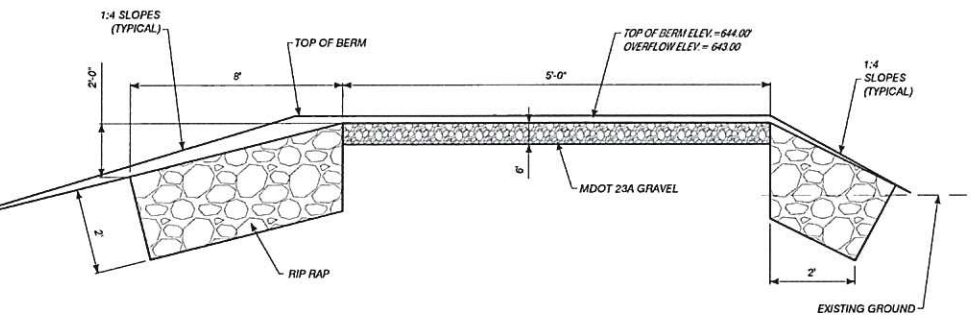
B3 MDOT E-2 CURB (MOD)
1" = 1'



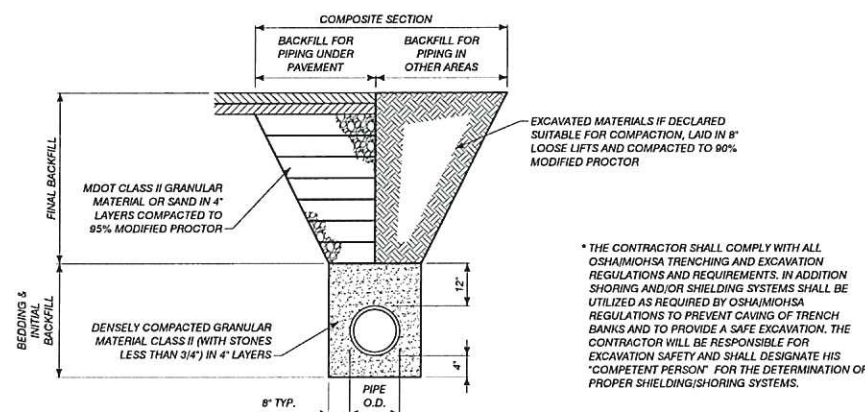
B4 MDOT F-2 CURB
1" = 1'



B5 CLEANOUT DETAIL
1/2" = 1'

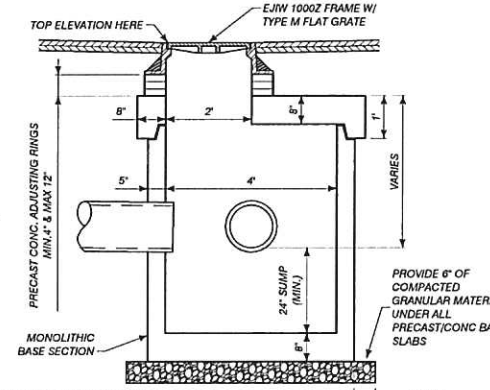


A2 POND OVERFLOW SECTION
NO SCALE

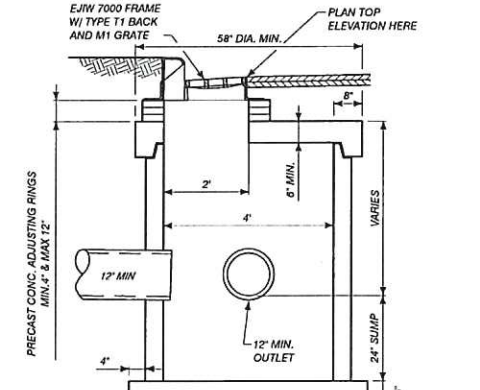


C3 PIPE BEDDING & BACKFILL DETAIL
1/2" = 1'

* THE CONTRACTOR SHALL COMPLY WITH ALL OSHAMOHSA TRENCHING AND EXCAVATION REGULATIONS AND REQUIREMENTS. IN ADDITION SHORING AND/OR SHIELDING SYSTEMS SHALL BE UTILIZED AS REQUIRED BY OSHAMOHSA REGULATIONS TO PREVENT COLLAPSE OF TRENCH BANKS AND TO PROVIDE A SAFE EXCAVATION. THE CONTRACTOR WILL BE RESPONSIBLE FOR EXCAVATION SAFETY AND SHALL DESIGNATE HIS "COMPETENT PERSON" FOR THE DETERMINATION OF PROPER SHIELDING/SHORING SYSTEMS.



A4 CATCH BASIN TYPE A
1/2" = 1'



A5 CATCH BASIN TYPE B
1/2" = 1'

Performance Engineers, Inc.

Civil / Structural Engineering
406 Patoskey Avenue
Charlevoix, Michigan 49720
Phone: (231) 547-2121
Fax: (231) 547-0064
www.performanceeng.com

NOT FOR CONSTRUCTION

LITZENBURGER MANOR
PROPOSED APARTMENT BUILDING

315 DIVISION STREET
BOYNE CITY, MI
LITZENBURGER MANOR LHA, LLC
802 S PARK STREET BOYNE CITY, MI

| MARK | DATE | DESCRIPTION |
|------|----------|---------------------------|
| 6 | 06-28-24 | SITE PLAN REVIEW/SUBMITAL |

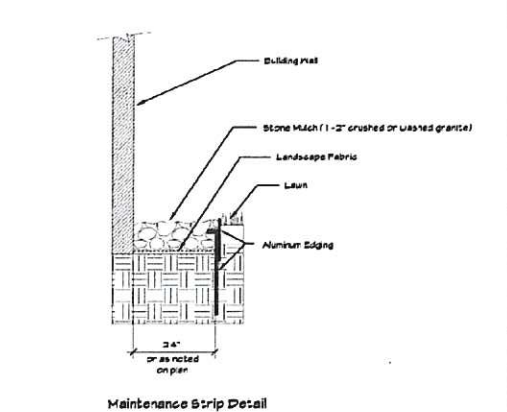
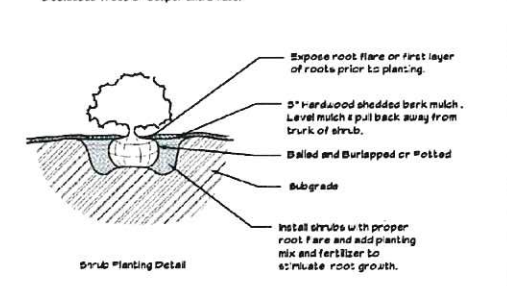
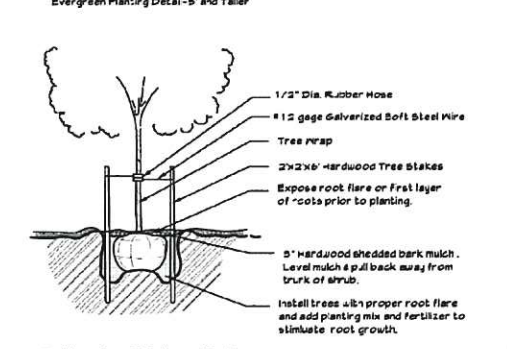
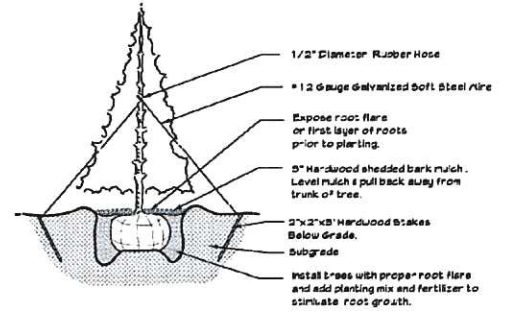
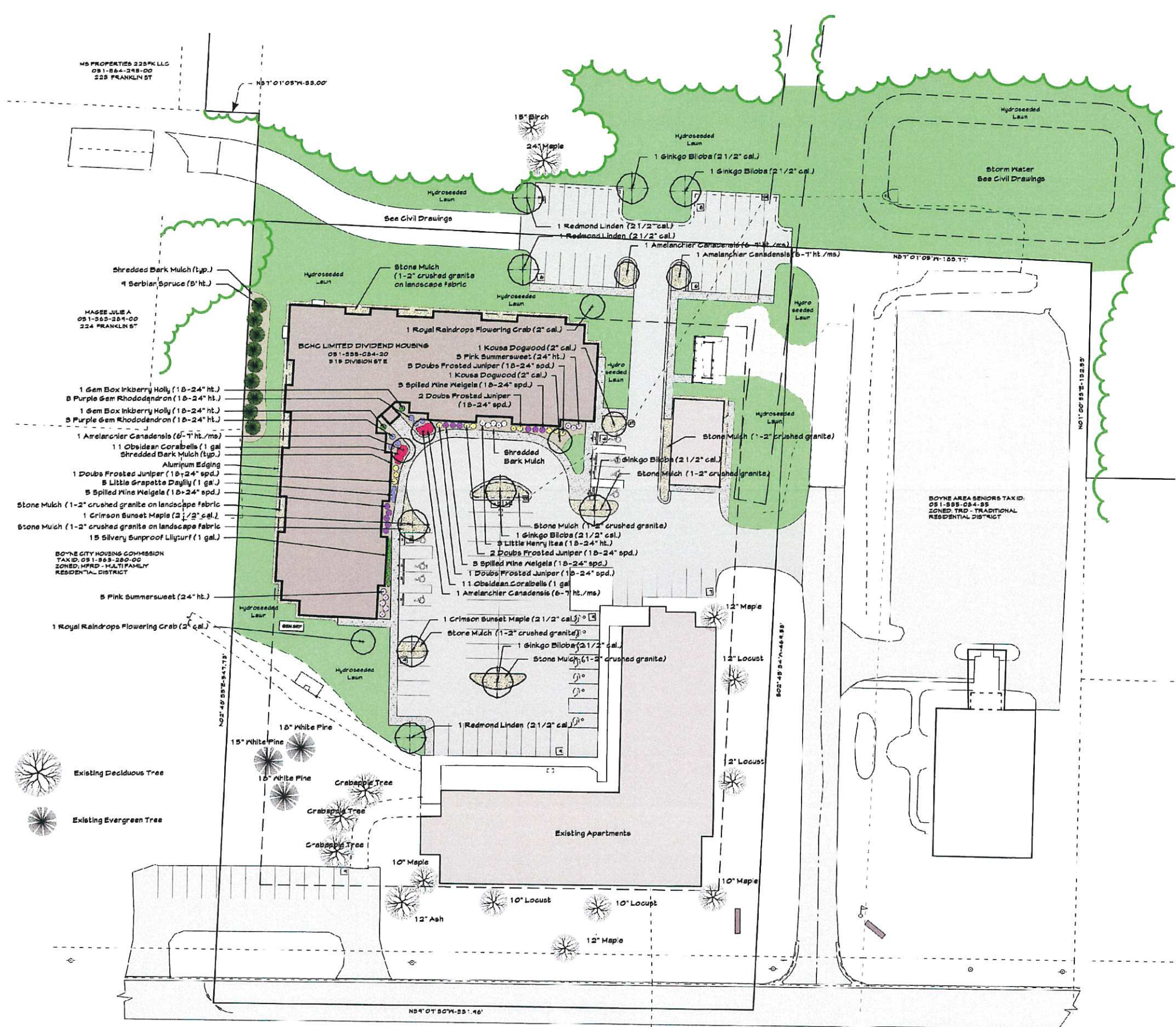
PROJECT NO: 24-6397
CAD DWG FILE: 6397 C501.dwg
DRAWN BY: DEH
DESIGNED BY: DEH
CHECKED BY: FEI

STATE OF MICHIGAN
DAVID E. HENDERSHOTT
ENGINEER
REGISTRATION #220102720
EXP. DATE 12/31/2026
06-28-2024

SHEET TITLE
CIVIL SITE DETAILS
C501
SHEET 6 OF 7

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CONSIDERS/DAVE
 PERFORMANCE ENGINEERS
 BOYNE CITY HOUSING COMMISSION
 PROJECTS/6397/DRAWINGS/6397 TB.DWG - MODEL - PLOTTED 12/13/2023 3:51 PM BY DAVE



- Notes:**
- All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller than specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.
 - All plantings shall be mulched with 2\"/>

Performance Engineers, Inc.
 Civil / Structural Engineering
 406 Paroskey Avenue
 Charlevoix, Michigan 49720
 Phone: (231) 547-2121
 Fax: (231) 547-0084
 www.performanceeng.com

NOT FOR CONSTRUCTION

CONSULTANTS
LITZENBURGER MANOR
 PROPOSED EXPANSION
 315 DIVISION STREET
 BOYNE CITY, MI
 BOYNE AREA SENIORS TAX ID:
 05-1-995-084-85
 ZONED: TRD - TRADITIONAL RESIDENTIAL DISTRICT
 OWNER
 LITZENBURGER MANOR/LHA, LLC
 825 S. PARK STREET/BOYNE CITY, MI

| MARK | DATE | DESCRIPTION |
|------|----------|----------------------------|
| 0 | 08-28-24 | SITE PLAN REVIEW SUBMITTAL |

PROJECT NO: 24-4397
 CAD DWG FILE:
 DRAWN BY: DEH
 DESIGNED BY: DEH
 CHECKED BY: PCI

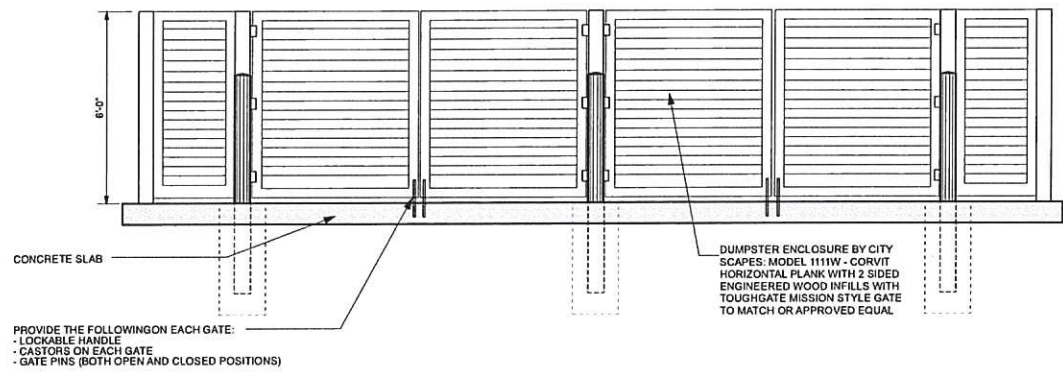
SEAL

 Landscape Plan Drawn By:
 Joyce E. Weis P.E., A.S.L.A.

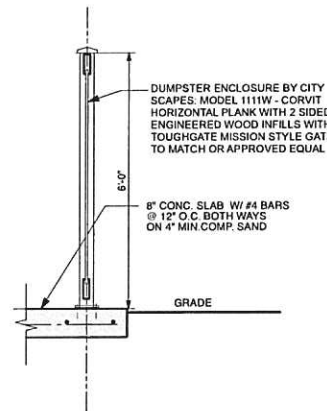
SHEET TITLE
LANDSCAPE PLAN
 L 101
 SHEET 7 OF 7

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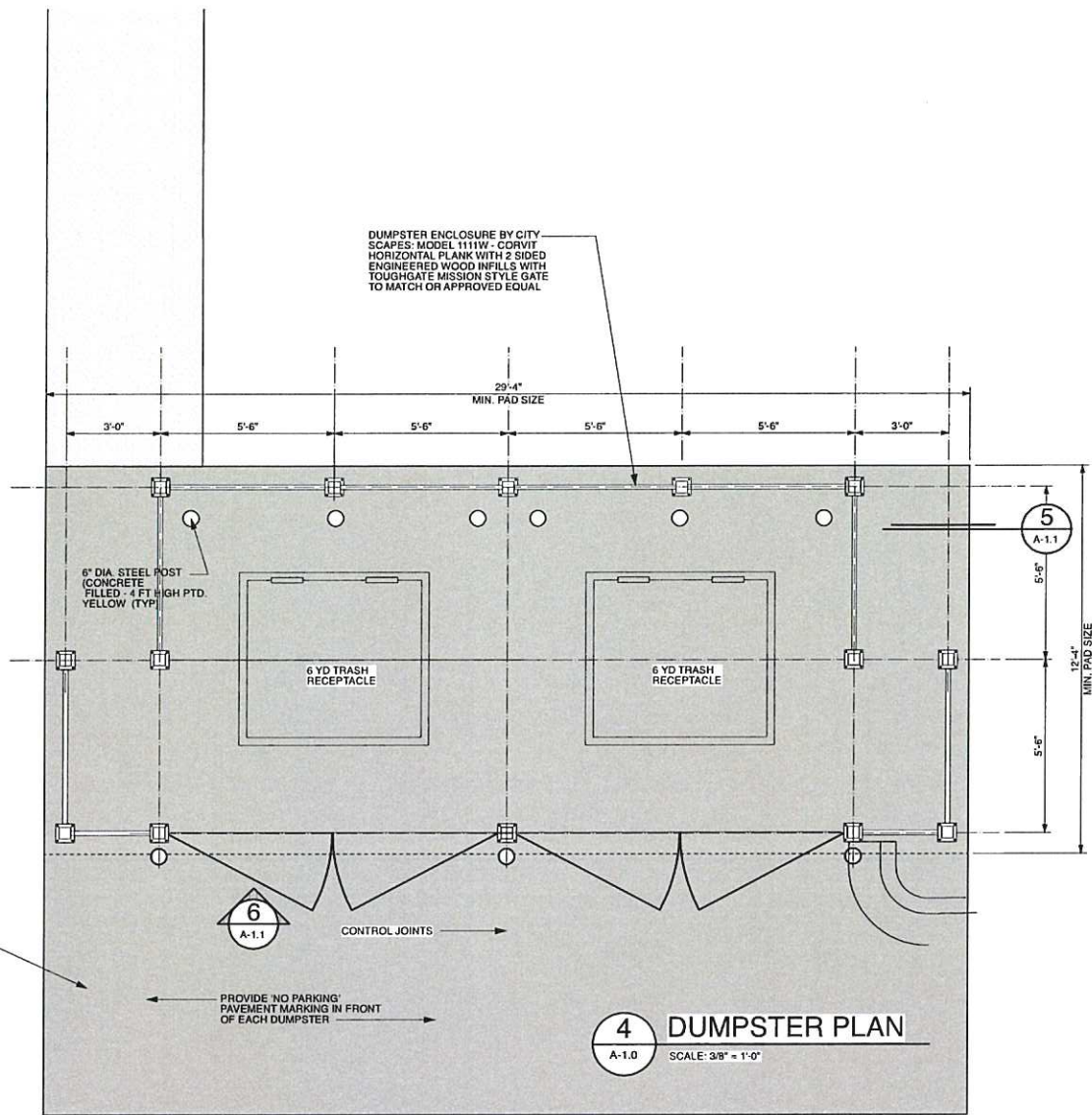
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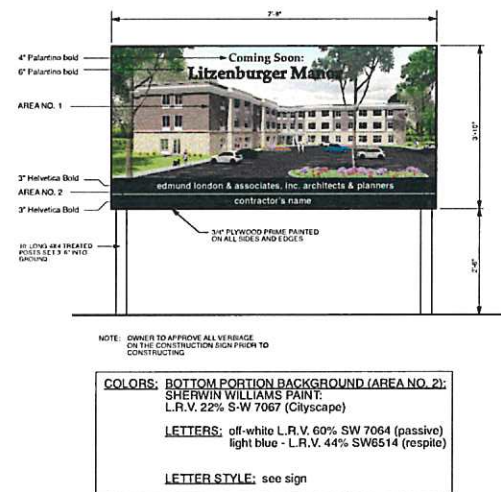
6 ELEVATION @ DUMPSTER SCREEN
 A-1.1 SCALE: 3/8" = 1'-0"



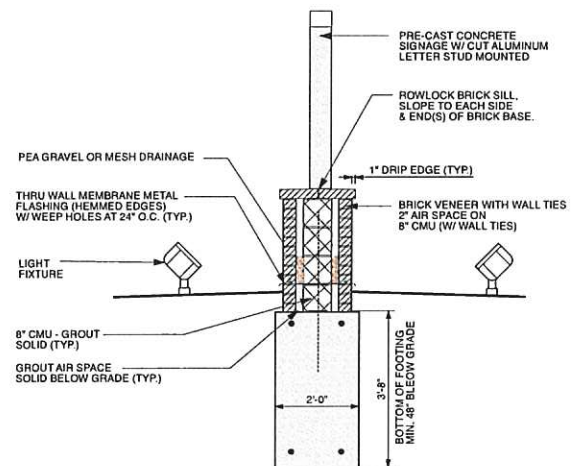
SECTION 5
 SCALE: 1/2" = 1'-0" A-1.1



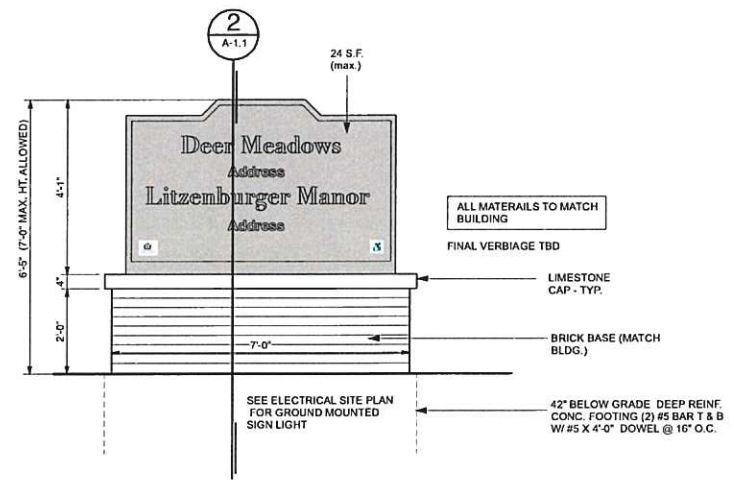
4 DUMPSTER PLAN
 A-1.0 SCALE: 3/8" = 1'-0"



3 CONSTRUCTION SIGN
 A-1.0 SCALE: 1/2" = 1'-0"



2 GROUND SIGN SECTION
 A-1.1 SCALE: 1/2" = 1'-0"

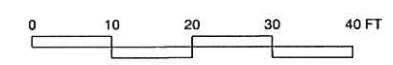
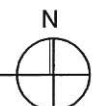


1 PROPOSED GROUND SIGN @ PROPERTY ENTRANCE
 A-1.0 SCALE: 1/2" = 1'-0"



COMPOSITE FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



ISSUED
Sub Plan Review
06/28/24

DRAWN BY
MC
APPROVED BY
JC

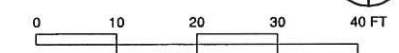
JOB NUMBER
4305

SHEET NUMBER
A-2.1



COMPOSITE SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



DRAWN BY
MC
APPROVED BY
JL
JOB NUMBER
4305
SHEET NUMBER
A-2.2

ISSUED:
Sub Plan Review
06/20/24

**composite
second floor plan**

Lizzenburger Manor
Bozette City, Michigan

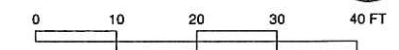


edmund london & associates, inc.
architects & planners
20750 civic center drive, suite 610, southfield, michigan 48078
tel: 248-353-4820 email: server@ele-architects.com



COMPOSITE THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"



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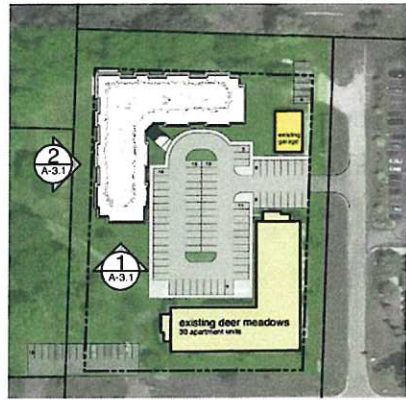
ISSUED
 See Plan Review
 06/28/24

DRAWN BY
 JC

APPROVED BY
 JC

JOB NUMBER
 4305

SHEET NUMBER
 A-2.3



N
KEY PLAN
NO SCALE



2
A-3.0 APARTMENT BUILDING EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



1
A-3.0 APARTMENT BUILDING EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



NEW COMBINED PARCEL
AREA = 9.10AC
GREEN SPACE = 5.22 A
 COMMISSION
 TAX ID: 051-335-084-40
 ZONED: TRD - TRADITIONAL RESIDENTIAL DISTRICT



| Symbol | Label | QTY | Manufacturer | Catalog | Description | Lamp Output | LLF | Input Power |
|--------|-------|-----|-------------------|--------------------|---|-------------|-----|-------------|
| A | A | 2 | Lithonia Lighting | DSXO LED 40K 80CRI | D-Series Size 0 Area Luminaire 4000K CCT 80 CRI | 10664 | 0.9 | 186.08 |
| B | B | 1 | Lithonia Lighting | DSXO LED 40K 80CRI | D-Series Size 0 Area Luminaire 4000K CCT 80 CRI | 5923 | 0.9 | 68.95 |
| C | C | 6 | Lithonia Lighting | DSXO LED 40K 80CRI | D-Series Size 0 Area Luminaire 4000K CCT 80 CRI | 7428 | 0.9 | 93.04 |
| D | D | 2 | Lithonia Lighting | DSXO LED 40K 80CRI | D-Series Size 0 Area Luminaire 4000K CCT 80 CRI | 11337 | 0.9 | 90.12 |
| E | E | 1 | Lithonia Lighting | DSXO LED 40K 80CRI | D-Series Size 0 Area Luminaire 4000K CCT 80 CRI | 7978 | 0.9 | 68.95 |

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|-----------------------|--------|--------|--------|--------|---------|---------|
| Parking & Drive Lanes | X | 1.3 fc | 3.5 fc | 0.4 fc | 8.8:1 | 3.3:1 |
| Parking Addition | X | 1.8 fc | 3.7 fc | 0.5 fc | 7.4:1 | 3.6:1 |
| Overall/Grade | + | 0.8 fc | 3.7 fc | 0.0 fc | N/A | N/A |

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 10.44
 Length: 25.13"
 Width: 14.56"
 Height H1: 2.26"
 Height H2: 7.56"
 Weight: 23.8lb

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

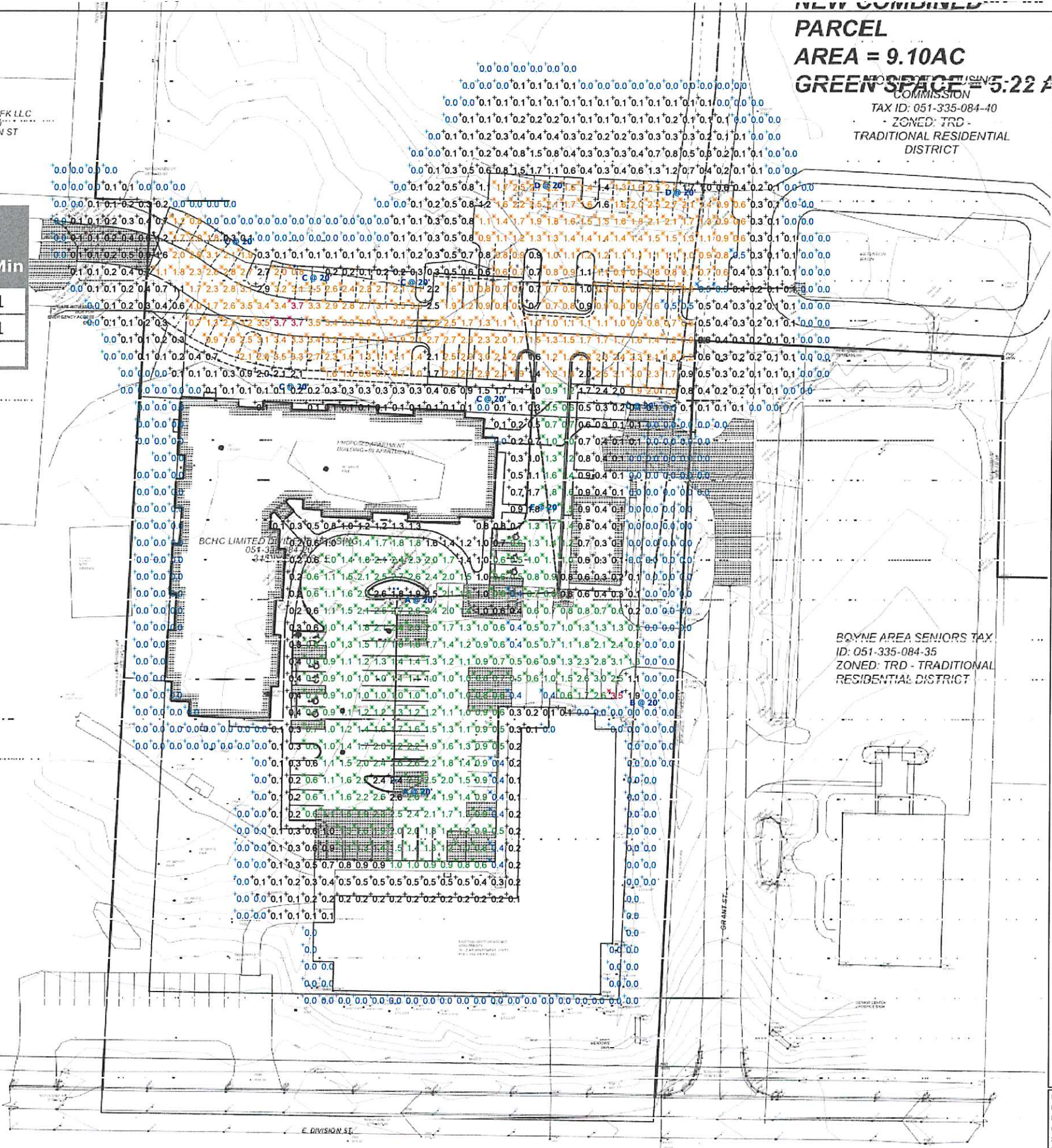
Ordering Information

EXAMPLE: DSXO LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DDBXD

| Layer | Light | Color Temperature | Color Rendering Index | Beam Spread | Mounting |
|----------|-------------|-------------------|-----------------------|-------------|-------------|
| DSXO LED | DSXO LED P6 | 4000K | 80CRI | 120° | DSXO LED P6 |

MAGEE JULIE A
 051-343-280-06
 224 FRANKLIN ST

ITY HOUSING
 MISSION
 51-363-280-00
 MULTI FAMILY
 TRADITIONAL DISTRICT



BOYNE AREA SENIORS TAX
 ID: 051-335-084-35
 ZONED: TRD - TRADITIONAL RESIDENTIAL DISTRICT

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Plan View
 Scale = 1" = 30'

Designer
 BK
 Date
 07/02/2024
 Scale
 Not to Scale
 Drawing No.
 #24-30575 V2
 SHEET P-1